



**Moapa Town Advisory Board**  
**Marley P. Robinson Justice Court**  
**1340 E. Highway 168**  
**Moapa, NV 89025**  
 August 27, 2024  
 7:00pm

**AGENDA**

**Note:**

- Items on the agenda may be taken out of order.
- The Board/Council may combine two (2) or more agenda items for consideration.
- The Board/Council may remove an item from the agenda or delay discussion relating to an item at any time.
- No action may be taken on any matter not listed on the posted agenda.
- All planning and zoning matters heard at this meeting are forwarded to the Board of County Commissioners' Zoning Commission (BCC) or the Clark County Planning Commission (PC) for final action.
- Please turn off or mute all cell phones and other electronic devices.
- Please take all private conversations outside the room.
- With a forty-eight (48) hour advance request, a sign language interpreter or other reasonable efforts to assist and accommodate persons with physical disabilities, may be made available by calling (702) 455-3530, TDD at (702) 385-7486 Relay Nevada toll-free at (800) 326-6868, TD/TDD.
- Supporting material provided to Board/Council members for this meeting may be requested from Judy Metz, (702) 397-6475
  - Supporting material is/will also be available at the Clark County Department of Administrative Services, 500 S. Grand Central Parkway, 6th Floor, Las Vegas, Nevada 89155 & Moapa Valley Community Center 320 N. Moapa Valley Blvd. Overton, NV. 89040
  - Supporting material is/will be available on the County's website at <https://clarkcountynv.gov/Moapa TAB>.

Board/Council Members: · Lola Egan – Chairperson  
 Cally Wade – Vice Chairperson  
 Blake Stratton  
 Jamie Shakespear  
 Michael Abbott

Secretary: Judith Metz, 702-397-6475. Judith.Metz@ClarkCountyNV.gov  
 Business Address: Moapa Valley Community Center  
 320 N. Moapa Valley Blvd. Overton, NV. 89040

County Liaison(s): William Covington, 702-455-2540, William.Covington@ClarkCountyNV.gov  
 Business Address: Clark County Department of Administrative Services, 500 S. Grand Central Parkway, 6th Floor, Las Vegas, Nevada 89155

**I. Call to Order, Invocation, Pledge of Allegiance, and Roll Call**

**II. Public Comment-** This is a period devoted to comments by the general public about items on this agenda. No discussion, action, or vote may be taken on this agenda item. You will be afforded the opportunity to speak on individual Public Hearing Items at the time they are presented. If you wish to speak to the Board/Council about items within its jurisdiction but not appearing on this agenda, you must wait until the "Comments by the General Public" period listed at the end of this agenda. Comments will be limited to three (3) minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please **spell** your last name for the record. If any member of the

Board/Council wishes to extend the length of a presentation, this will be done by the Chairperson or the Board/Council by majority vote.

III. Approval of Minutes for August 13, 2024. (For possible action)

IV. Approval of the Agenda for August 27, 2024, and Hold, Combine, or Delete any Items. (For possible action)

V. Informational Items

NONE

VI. Planning and Zoning

**09/17/24 PC**

1. **WS-24-0406-MANDAYA, LLC:**  
**WAIVER OF DEVELOPMENT STANDARDS** for street landscaping.  
**DESIGN REVIEWS** for the following: 1) a new gas station canopy; and 2) a commercial vehicle parking lot in conjunction with an existing convenience store with gasoline pumps, tavern, and restaurant on a 1.80 acre portion of 6.19 acres in a CG (Commercial General) Zone. Generally located on the north side of Glendale Boulevard, 2,000 feet east of State Route 168 within Moapa. MK/sd/syp (For possible action)

VII. General Business

Review previous Fiscal Year Budget requests and take public input regarding requests for the next Fiscal Year Budget. (For Possible Action)

VIII. Comments by the General Public- A period devoted to comments by the general public about matters relevant to the Board/Council's jurisdiction will be held. No vote may be taken on a matter not listed on the posted agenda. Comments will be limited to three (3) minutes. Please step up to the speaker's podium, if applicable, clearly state your name and address and please **spell** your last name for the record. If any member of the Board/Council wishes to extend the length of a presentation, this will be done by the Chairperson or the Board/Council by majority vote.

XI. Next Meeting Date: September 10, 2024.

X. Adjournment.

**POSTING LOCATIONS:** This meeting was legally noticed and posted at the following locations:  
Moapa Valley Community Center - 320 N. Moapa Valley Blvd. Overton, NV. 89040  
<https://notice.nv.gov>

**BOARD OF COUNTY COMMISSIONERS**  
TICK SEGERBLOM, Chair - WILLIAM MCCURDY II, Vice Chair  
JUSTIN C. JONES - MARILYN KIRKPATRICK - JAMES B. GIBSON - ROSS MILLER - MICHAEL NAFT  
KEVIN SCHILLER County Manager





# Moapa Town Advisory Board

August 13, 2024

## DRAFT MINUTES

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Board Members:    Lola Egan – Chair - Present  
                          Cally Wade – Vice Chair - Present  
                          Jamie Shakespear - Present  
                          Blake Stratton – Excused  
                          Michael Abbott - Present

Secretary:            Judy Metz, 702-397-6475, Judith.Metz@ClarkCountyNV.gov

Liaison:                William Covington, 702-455-2540, William.Covington@ClarkCountyNV.gov

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I.            Call to Order, Invocation, Pledge of Allegiance, Roll Call  
              The meeting was called to order at 7:00 PM. In attendance was J.J. Smith and Colleen Cepero-Rios with BLM.

II.          Public Comment

              NONE

III         Approval of Minutes of April 9, 2024

**Moved by: Micael Abbott**

**Action: Approved**

**Vote:1-0/2 abstentions(did not attend this meeting)**

IV. Approval of Agenda for August 13, 2024.

**Moved by: Lola Egan**

**Action: Approved**

**Vote: 3-0/Unanimous**

V. Informational Items (Cally Wade joins the meeting)

Presentation by J.J. Smith regarding Moapa Riparian Restoration project. This is to deal with old agricultural berm below Warm Springs. SNWA is a Cooperating Agency/ separate except for surface water rights. Timeline is expected to start in Spring of 2025. They will present to the Board again, once they have finished their studies. The berms are 8' in some places, and maybe 2 in others. They are looking to revert from agricultural area to a wooded area. They have a selection of trees they may use. The wooden bridge came into the discussion, because it is old and tilts and sags, and is unsafe. They plan to block it from usage. It was questioned as a historical site. They want to make it so the river does not break the berm. They are doing hydrological studies now.

VI. Planning & Zoning

NONE

VII. General Business

Review previous Fiscal Year Budget requests and take input from the public regarding request for the next Fiscal Year Budget.

See attached 2023 list and New 2024 list. There were discussions regarding retaining the same Parks list, and revising the Public Works List.

VIII. Public Comment

NONE

IX Next Meeting Date

The next regular meeting will be August 27, 2024.

*X Adjournment @ 8:05PM*

## Moapa Town Advisory Board Budget Requests

Discussed at the 8/13/2024 Meeting.

### Parks

1. Walking path w/exercise Stations and Benches
2. Sand Volleyball behind or side of Library, and horseshoes. (Simplot may donate the sand)
3. Shade – similar to small children’s playground area and Splash Pad.
4. Outdoor basketball – 1/2 court
5. Add on to gym, or portable classrooms or bungalows classes.
6. Indoor Swimming Pool.

### Public Works

1. Repave and Reengineer SIM. NOTE: This road is the only other option when flooding occurs.
2. Extend barrier rails to the Warm Springs Loop.
3. Pave Dude Rd. (Off Hwy 168 – Glendale area.)
4. Additional lights @ Rox & Fire Station for turning into facilities/expansion of Rox for turn lane for emergency personnel. Need additional parking from Fire Station to Rox (currently dirt lot)
5. Maintain Barlow from Lawson to Rox Rd





## Moapa Town Advisory Board Budget Requests

Discussed at the 8/29/2023 Meeting.

### Parks

1. Walking path w/exercise Stations and Benches
2. Sand Volleyball behind or side of Library, and horseshoes. (Simplot may donate the sand)
3. Shade – similar to small children’s playground area and Splash Pad.
4. Outdoor basketball – ½ court
5. Add on to gym, or portable classrooms or bungalows classes.
6. Indoor Swimming Pool.

### Public Works

1. Add barrier rails to the Warm Springs Loop.
2. Repave and Reengineer SIM. NOTE: This road is the only other option when flooding occurs.
3. Additional lights @Rox & Fire Station for turning into facilities/expansion of Rox for turn lane.
4. Pave Dude Rd. (off Hwy 168 – Glendale area)
5. Maintain Barlow from Lawson to Rox Rd.

## Moapa Town Advisory Board Budget Requests

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**ATTACHMENT A  
MOAPA TOWN ADVISORY BOARD  
ZONING AGENDA  
TUESDAY, 7:00 P.M., AUGUST 27, 2024**

09/17/24 PC

1. **WS-24-0406-MANDAYA, LLC:**  
**WAIVER OF DEVELOPMENT STANDARDS** for street landscaping.  
**DESIGN REVIEWS** for the following: **1)** a new gas station canopy; and **2)** a commercial vehicle parking lot in conjunction with an existing convenience store with gasoline pumps, tavern, and restaurant on a 1.80 acre portion of 6.19 acres in a CG (Commercial General) Zone. Generally located on the north side of Glendale Boulevard, 2,000 feet east of State Route 168 within Moapa. MK/sd/syp (For possible action)

**PUBLIC HEARING**

**APP. NUMBER/OWNER/DESCRIPTION OF REQUEST**

**WS-24-0406-MANDAYA, LLC:**

**WAIVER OF DEVELOPMENT STANDARDS** for street landscaping.

**DESIGN REVIEWS** for the following: 1) a new gas station canopy; and 2) a commercial vehicle parking lot in conjunction with an existing convenience store with gasoline pumps, tavern, and restaurant on a 1.80 acre portion of 6.19 acres in a CG (Commercial General) Zone.

Generally located on the north side of Glendale Boulevard, 2,000 feet east of State Route 168 within Moapa, MK/sd/syp (For possible action)

**RELATED INFORMATION:**

**APN:**

042-02-501-013 through 042-02-501-016

**WAIVER OF DEVELOPMENT STANDARDS:**

Eliminate street landscaping along Glendale Boulevard where a 15 foot wide area of landscaping is required per Chapter 30.04.01 (a 100% reduction).

**LAND USE PLAN:**

NORTHEAST COUNTY (MOAPA) - ENTERTAINMENT MIXED-USE  
NORTHEAST COUNTY (MOAPA) - OPEN LANDS

**BACKGROUND:**

**Project Description**

**General Summary**

- Site Address: 2300 Glendale Boulevard
- Site Acreage: 6.19
- Project Type: Gas station and commercial vehicle parking
- Building Height (feet): 18 (canopy)
- Square Feet: Restaurant (2,368)/convenience store (4,075)/tavern (700)
- Parking Required/Provided: 121/134 per WS-19-0357

**History & Site Plan**

The site consists of 4 parcels. The development was approved by the Board of County Commissioners (BCC) by action of ZC-0847-08, which was approved in October 2008 with waivers of development standards for landscaping, and the parking lot layout. An extension of time application (ET-0104-11) extended the application until October 22, 2014, for the waivers of development standards in December 2011 with a condition requiring a review for the waivers. A subsequent application for review was not filed and the waivers of development standards and as a result, the waivers expired. In 2019, an application was submitted (WS-19-0357) for waiver

of development standards to reinstate parking lot landscaping and street landscaping on parcels 042-02-501-013 & 042-02-501-015 only as stated in the condition of approval. This application was approved with the Notice of Final Action (NOFA) stating these waivers were only limited to the existing facilities only and redevelopment of the site will require additional land use approval and compliance with the Code. The applicant has now submitted this application to install a new fuel canopy on parcel 042-02-501-016 and vehicle parking lot on parcel 042-02-501-014 & 042-02-501-016.

The existing building on parcel 042-02-501-013 for the convenience store and restaurant and tavern is located portion of the eastern parcel. The fuel pumps and canopy for the gasoline station are located on the central portion of the western parcel. Parking is located to the north, west and south of the convenience store building. The plans depict a new fuel canopy with gasoline pumps north of the existing fuel canopy and gasoline pumps on parcel 042-02-501-016 a new truck and trailer parking located in portion of the APN: 042-02-501-014 & 016. The drive aisle from Glendale Boulevard is 80 feet wide to accommodate increased passenger and truck vehicular traffic for the site. No change are proposed for the existing building (convenience store, tavern & restaurant) existing as a gas station or the establish parking lot areas. Access to the site is provided from Glendale Boulevard which is adjacent to the south side of the property.

#### Landscaping

There is some existing landscaping consisting of trees, shrubs and groundcover adjacent to the existing building. No landscaping is provided adjacent to Glendale Boulevard on parcel 042-02-501-016, which will be developed with this application and requires a waiver of development standards. In 2019 application WS-19-0357 waived parking lot landscaping and screening requirements.

#### Elevations & Floor Plans

The plans depict a new fuel canopy with 6 gasoline pumps that are 18 feet in height and 52 feet wide. The materials include a white canopy fascia, aluminum composite materials, white metal column, and bollards. No changes are proposed to the existing building, and fuel canopy with this request. The existing building is 1 story with a maximum height of 30 feet. The exterior of the building is a combination of a stone veneer with a stucco finish painted in earth tone colors.

#### Applicant's Justification

The applicant states that the intention of these improvements is to expand the existing use and add additional fuel canopy with 6 gasoline pumps. The goal is to expand the existing business and to also keep the rural aspects associated with Moapa. The applicant has submitted an email from the Overton Power Company, District #5, requesting with their easement running along Glendale Boulevard stating they would prefer no landscaping be installed. Should landscaping be installed then any landscaping would have to be removed to access the underground lines. The requested waiver will not have any adverse impact to the surrounding area and want to keep the open layout that is appropriate for its rural location.

**Prior Land Use Requests**

Application Number	Request	Action	Date
WS-19-0357	Parking space and design layout, landscaping and screening requirements	Approved by PC	June 2019
ADR-19-900310	Electric car charging stations	Approved by Staff	May 2019
ZC-0847-08 (ET-0104-11)	First extension of time to review waivers of developments, standards for off-site improvements, landscaping, and parking lot design - waivers expired	Approved by BCC	December 2011
ZC-0847-08	Original application to reclassify 15 acres from H-2, C-2, and R-A to C-2 zoning with waivers and a design review for a convenience store and restaurant	Approved by BCC	October 2008
ZC-1504-07	Reclassified 3.9 acres from H-2 and R-A to C-2 zoning with waivers and design review for a convenience store and restaurant - expired	Approved by BCC	February 2008
MP-1734-05 (ET-0041-07)	First extension of time - expired	Approved by BCC	March 2007
MP-1734-05	Draft Neighborhood Concept Plan for the Riverview development	Approved by BCC	March 2006
VC-0482-93 (ET-0139-98)	First extension of time - expired	Approved by PC	May 1998
ZC-0257-96 (ET-0075-98)	First extension of time	Approved by BCC	April 1998
ZC-0257-96	Original application that reclassified 151 acres to H-1 zoning for 2 resort hotels - expired	Approved by BCC	March 1996
VC-0482-93	Reduced parking in conjunction with the relocation of fuel pump islands	Approved by PC	May 1993

**Surrounding Land Use**

Planned Land Use Category	Zoning District	Existing Land Use
North	Entertainment Mixed-Use	Undeveloped/motel
East	Entertainment Mixed-Use/Open Lands	Undeveloped
South	Entertainment Mixed-Use & Open Lands	Single-family residence
West	Corridor Mixed-Use/ Entertainment Mixed-Use & Open Lands	Undeveloped parcels

**STANDARDS FOR APPROVAL:**

The applicant shall demonstrate that the proposed request is consistent with the Master Plan and is in compliance with Title 30.

## **Analysis**

### **Comprehensive Planning**

#### Waiver of Development Standards

The applicant shall have the burden of proof to establish that the proposed request is appropriate for its proposed location by showing the following: 1) the use(s) of the area adjacent to the subject property will not be affected in a substantially adverse manner; 2) the proposal will not materially affect the health and safety of persons residing in, working in, or visiting the immediate vicinity, and will not be materially detrimental to the public welfare; and 3) the proposal will be adequately served by, and will not create an undue burden on, any public improvements, facilities, or services.

The site is located in a rural area with little development and has been operating for several years without complaint. The proposed waiver to eliminate street landscaping had been previously approved for this development, and similar waivers of development standards have been approved for other commercial developments in other rural areas of the county. The applicant has submitted an email from the Overton Power Company representative stating that there are underground power lines running along these portions of Glendale Boulevard. Given the rural location and previous approvals, and the preference of the Overton Power Company for no landscaping, staff does not object to these waivers of development standards.

#### Design Reviews

Development of the subject property is reviewed to determine if 1) it is compatible with adjacent development and is harmonious and compatible with development in the area; 2) the elevations, design characteristics and other architectural and aesthetic features are not unsightly or undesirable in appearance; and 3) site access and circulation do not negatively impact adjacent roadways or neighborhood traffic.

The proposed installation of a new fuel canopy with 6 gasoline pumps is a standard feature found with convenience stores and other gasoline station. The proposed expansion utilizes appropriate setbacks and building design identical to the existing fuel canopy and gasoline pump station. The existing gasoline station with the existing and a new proposed gasoline pump station provides for appropriate setbacks, building height and materials often found with similar commercial uses. Therefore, staff can support this request.

#### **Staff Recommendation**

Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Master Plan, Title 30, and/or the Nevada Revised Statutes.

### **PRELIMINARY STAFF CONDITIONS:**

#### **Comprehensive Planning**

- Applicant is advised within 2 years from the approval date the application must commence or the application will expire unless extended with approval of an extension of

time; a substantial change in circumstances or regulations may warrant denial or added conditions to an extension of time; the extension of time may be denied if the project has not commenced or there has been no substantial work towards completion within the time specified; changes to the approved project will require a new land use application; and the applicant is solely responsible for ensuring compliance with all conditions and deadlines.

**Public Works - Development Review**

- Traffic study and compliance.
- No comment.

**Fire Prevention Bureau**

- Clark County Water Reclamation District (CCWRD)  
The applicant is advised that CCWRD has no public sanitary sewer facilities in that area and none are planned within the next 5 years.

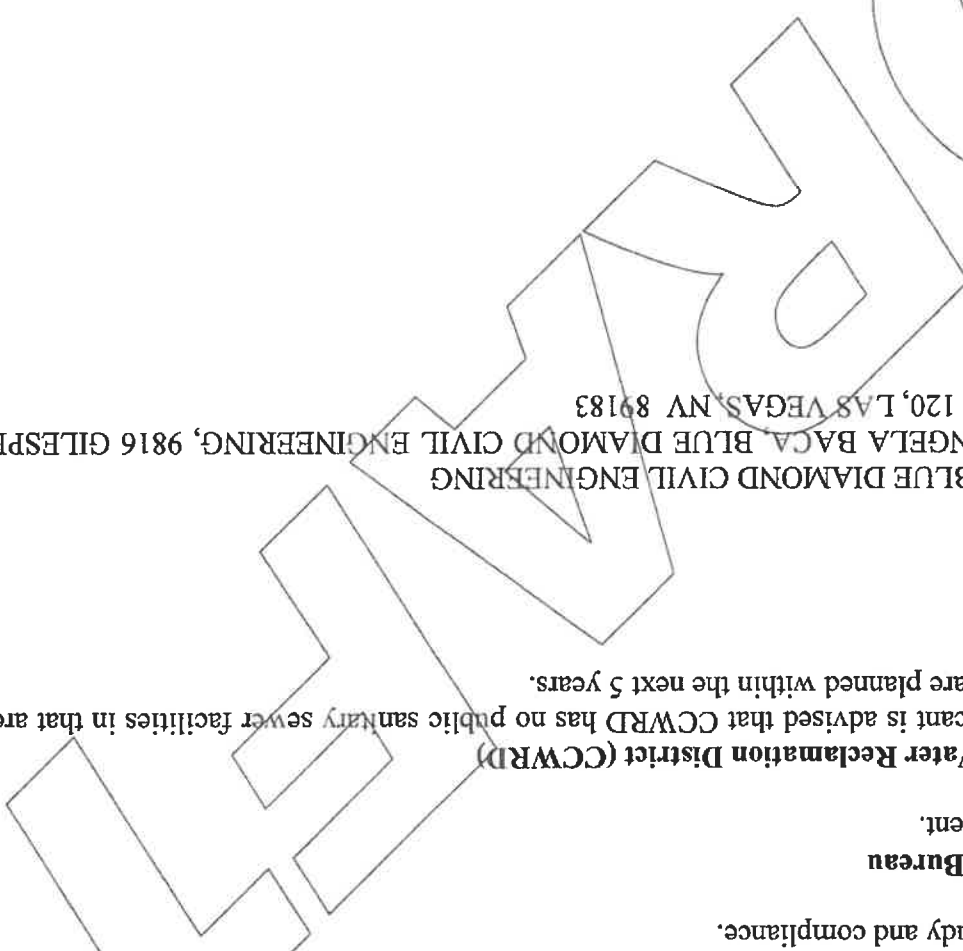
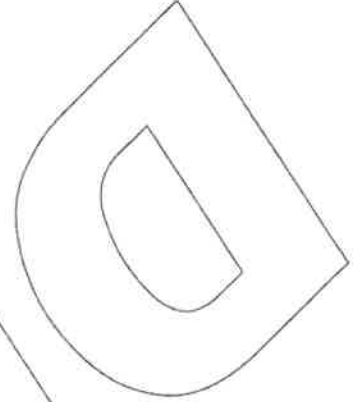
**TAB/CAC:**

**APPROVALS:**

**PROTESTS:**

**APPLICANT:** BLUE DIAMOND CIVIL ENGINEERING

**CONTACT:** ANGELA BACA BLUE DIAMOND CIVIL ENGINEERING, 9816 GILLESPIE STREET, SUITE 120, LAS VEGAS, NV 89183





APP 73-1087



# Department of Comprehensive Planning Application Form

ASSESSOR PARCEL #(s): 042-02-501-013, -014, -015, -016

PROPERTY ADDRESS/ CROSS STREETS: 2300 GLENDALE BLVD

### DETAILED SUMMARY PROJECT DESCRIPTION

It is the owners intention to install a new fuel system canopy (1,040 sq ft) as an expansion/upgrade for their existing business, while maintaining the rural and scenic aspects of the area.

### PROPERTY OWNER INFORMATION

NAME: MANDAYA L L C  
ADDRESS: 8910 S TOMSIK STREET  
CITY: LAS VEGAS STATE: NV ZIP CODE: 89113  
TELEPHONE: 702.426.4336 CELL: \_\_\_\_\_ EMAIL: eltonoptics@gmail.com

### APPLICANT INFORMATION

NAME: BLUE DIAMOND CIVIL ENGINEERING  
ADDRESS: 9816 GILESPIE STREET, STE 120  
CITY: LAS VEGAS STATE: NV ZIP CODE: 89183 REF CONTACT ID # \_\_\_\_\_  
TELEPHONE: 702.478.8580 CELL: \_\_\_\_\_ EMAIL: pwakefield@bdce-lv.com

### CORRESPONDENT INFORMATION

NAME: BLUE DIAMOND CIVIL ENGINEERING  
ADDRESS: 9816 GILESPIE STREET, STE 120  
CITY: LAS VEGAS STATE: NV ZIP CODE: 89183 REF CONTACT ID # 164856  
TELEPHONE: 702.478.8580 CELL: \_\_\_\_\_ EMAIL: ABACA@BDCE-LV.COM

\*Correspondent will receive all project communication

(I, We) the undersigned swear and say that (I am, We are) the owner(s) of record on the Tax Rolls of the property involved in this application, or (am, are) otherwise qualified to initiate this application under Clark County Code; that the information on the attached legal description, all plans, and drawings attached hereto, and all the statements and answers contained herein are in all respects true and correct to the best of my knowledge and belief, and the undersigned and understands that this application must be complete and accurate before a hearing can be conducted. (I, We) also authorize the Clark County Comprehensive Planning Department, or its designee, to enter the premises and to install any required signs on said property for the purpose of advising the public of the proposed application.

Property Owner (Signature)\*

EDGAR GARCIA  
Property Owner (Print)

2/6/2024  
Date

### DEPARTMENT USE ONLY

- |                              |  |                              |                               |                             |                             |  |
|------------------------------|--|------------------------------|-------------------------------|-----------------------------|-----------------------------|--|
| <input type="checkbox"/> AC  | <input type="checkbox"/> AR            | <input type="checkbox"/> ET  | <input type="checkbox"/> PUDD | <input type="checkbox"/> SN | <input type="checkbox"/> UC | <input checked="" type="checkbox"/> WS |
| <input type="checkbox"/> ADR | <input type="checkbox"/> AV            | <input type="checkbox"/> PA  | <input type="checkbox"/> SC   | <input type="checkbox"/> TC | <input type="checkbox"/> VS | <input checked="" type="checkbox"/> ZC |
| <input type="checkbox"/> AG  | <input checked="" type="checkbox"/> DR | <input type="checkbox"/> PUD | <input type="checkbox"/> SDR  | <input type="checkbox"/> TM | <input type="checkbox"/> WC | OTHER _____                            |

APPLICATION # WS24-0406

ACCEPTED BY:   
DATE: 7/24/24

PC MEETING DATE: 9/17/24

BCL MEETING DATE: \_\_\_\_\_  
TAB/CAC LOCATION: MOUPA DATE: 8/27/24

300



March 12, 2024

Clark County Comprehensive Planning  
500 South Grand Central Parkway  
Las Vegas, NV 89155

**Subject: Justification Letter for APR-23-101087  
2300 Glendale Blvd – APN 042-02-501-013, -014, -015, -016**

To Whom It May Concern:

Blue Diamond Civil Engineering, on behalf of our client, would like to formally request your review and approval of our applications for design review and waivers for the subject project. The project is intended to be an upgrade/expansion of the existing convenience store and restaurant. The site is generally located on the north side of Glendale Boulevard, approximately 2,000 feet east of State Route 168 within Moapa. The project site covers approximately 3.59 acres that is zoned C-2 – General Commercial, with a planned land use EM -Entertainment Mixed-Use.

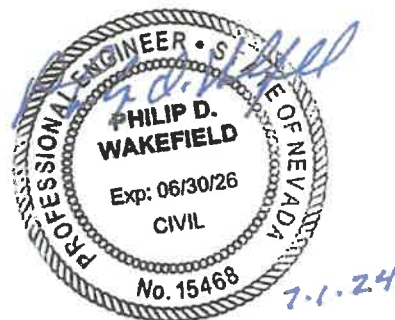
It is the owner's intention to install a new fuel system canopy (1,040 sq ft) as an expansion/upgrade for their existing business, while maintaining the rural and scenic aspects of the area. The plan designs will require the following waiver in order to preserve the rural lifestyle and the scenic qualities of the native landscape.

1. Eliminate parking lot landscaping where required per Figure 30.64-14. The parking lot currently exists with an open layout appropriate for its rural location.

We feel that the requested waiver is appropriate for this location and will not cause any adverse impact to the surrounding parcels. A fee in lieu will also be provided to the County Tree Fund for planting trees. We are hopeful that this letter clearly describes the intentions of the proposed development. If you have any questions or require any additional information please call 702-478-8580.

Respectfully,

Blue Diamond Civil Engineering





Angela Baca <abaca@bdce-lv.com>

## 2300 Glendale Blvd -New Canopy &Pumps

Tue, Jun 4, 2024 at 9:54 AM

SCOTT ROBINSON <sfrobinson@opds.com>  
To: Angela Baca <abaca@bdce-lv.com>  
Cc: Phil Wakefield <pwakefield@bdce-lv.com>

Angela,

In regards to Overton Power's easement at **2300 Glendale Blvd**, it would be preferred that no landscaping be installed. If landscaping was installed and then later we had to access our underground lines, the landscaping would be torn up and removed.

Please let me know if you have any questions.

Best regards,  
[Quoted text hidden]

*Scott J. Robinson*

Field Engineering Technician  
Overton Power District #5

615 N. Moapa Valley Blvd  
PO BOX 395  
Overton, NV 89040



Office 702.397.3017  
Cell 702.250.9667  
sfrobinson@opds.com

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